

CHANDIGARH PROJECT



NOTE -
THIS DRAWING IS THE COMPUTERISED REPRODUCTION OF ORIGINAL DRG NO. 13 OF JOB NO. 36 DATED 24.07.88 AND PREPARED ON 14.02.2007.

Vinod Chahar, PREPARED BY S.K. Madan, CHECKED Dileep Singh, A.T.P.

Sd/-
CHIEF ADMINISTRATOR

Sd/-
SENIOR TOWN PLANNER

Sd/-
JUNIOR TOWN PLANNER

Sd/-
S.B. VERMA
DRAWN BY

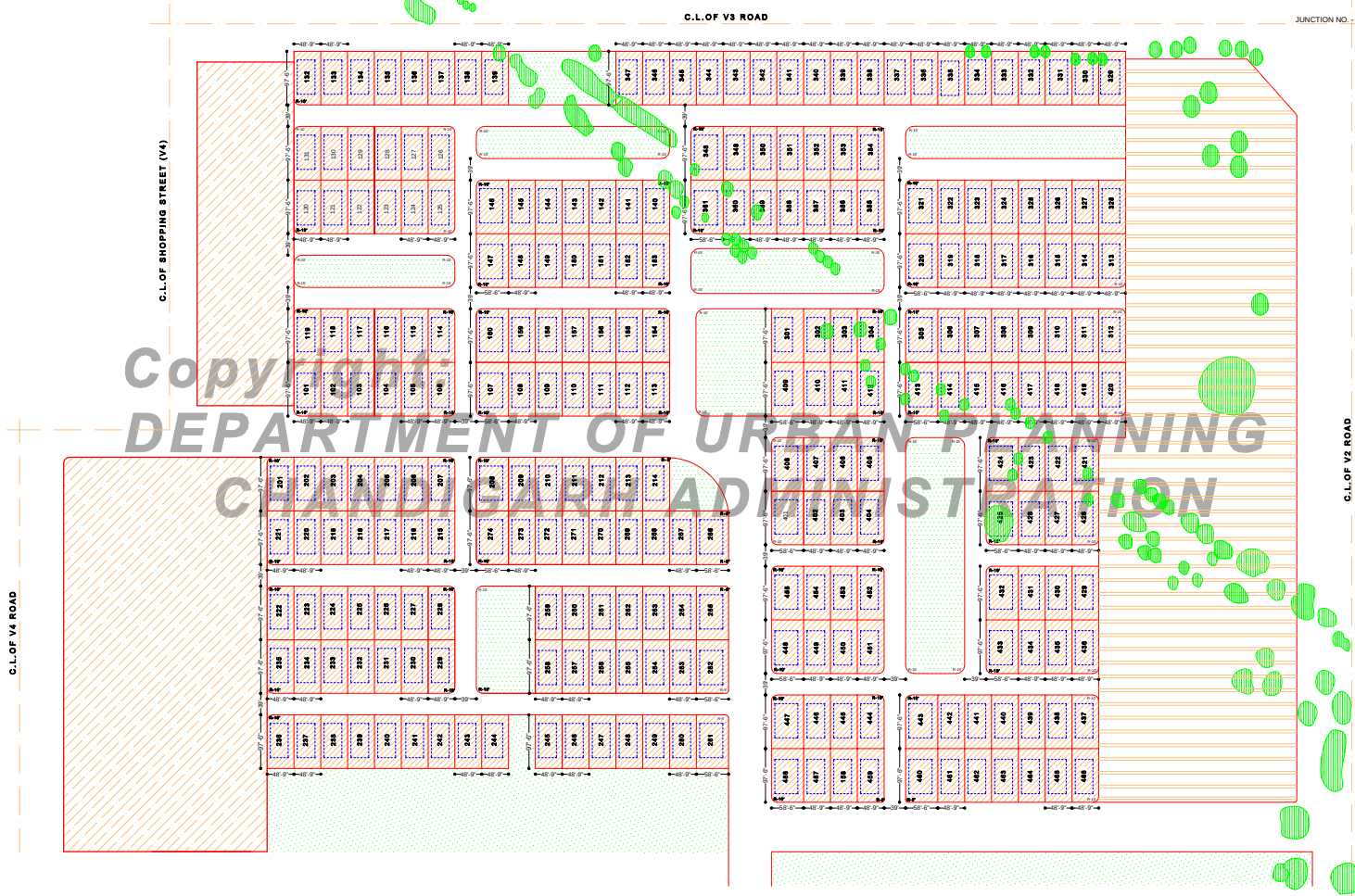
Sd/-
CHECKED

DRG NO. - 13

JOB NO. - 58

DATE: 24.07.88

ZONING PLAN OF
SECTOR - 35 A



DIRECTIONS ISSUED BY THE CHIEF ADMINISTRATOR IN EXERCISE OF POWERS CONFERRED UPON HIM UNDER SECTION - 4 OF THE CAPITAL OF PUNJAB (DEVELOPMENT AND REGULATION) ACT 1952.

REQUIREMENT OF THIS ZONING SHALL HAVE TO BE FULFILLED IN ADDITION TO THE ONES CONTAINED IN PUNJAB CAPITAL (DEVELOPMENT AND REGULATION) BUILDING RULES, 1952 AND OTHER LOCAL ENACTMENTS.

1. **USE ZONES -**
THE LAND SHOWN IN THE ZONING PLAN SHALL BE UTILISED IN ACCORDANCE WITH THE MARKINGS EXPLAINED IN THE TABLE 'A' BELOW AND IN NO OTHER MANNER WHAT SO EVER.

1	2	3
NOTATION	PERMISSIBLE USE OF LAND MARKED AS IN COLUMN 1	TYPES OF BUILDINGS PERMISSIBLE ON LAND MARKED AS IN COLUMN 1
	ROADS/STREETS	ROAD FURNITURE AND AMENITIES.
	PUBLIC SPACES	LAND SCAPE FEATURES, EDUCATIONAL, PUBLIC & COMMUNITY BUILDINGS AND PUBLIC AMENITIES.
	RESIDENTIAL	RESIDENTIAL BUILDINGS
	COMMERCIAL (SPECIAL AREA)	COMMERCIAL BUILDING AS PER ARCHITECTURAL CONTROL SHEET
	RESERVED	AS DIRECTED BY THE CHIEF ADMINISTRATOR FROM TIME TO TIME

NOTE -
THE CHIEF ADMINISTRATOR MAY ISSUE SUPPLEMENTARY ZONING PLAN AND SUCH FURTHER INSTRUCTIONS AS BE NECESSARY AND EXPEDIENT.

2. **DENSITY ZONES -**
IN THE RESIDENTIAL ZONE REFERRED TO IN TABLE 'A' UNDER CLAUSE ABOVE RESTRICTIONS GOVERNING ERECTION AND BUILDINGS. MAXIMUM PERMISSIBLE SITE COVERAGE, MAXIMUM PERMISSIBLE HEIGHT, MAXIMUM NUMBER OF STOREYS AND THE MAXIMUM NUMBER OF DWELLING UNITS PER SITE SHALL BE AS SPECIFIED IN TABLE 'B'.

TABLE 'B' (DENSITY ZONES B-2)

1	2	3
PLOT NOS.	ALL PLOTS ILLUSTRATED ON THIS PLAN	
1. BUILDING LINE	FRONT REAR SIDE TOWARDS NORTH/EAST. SIDE TOWARDS SOUTH/WEST.	18' 0" 15' 0" 15' 0"
2. MAXIMUM PERMISSIBLE SITE COVERAGE		100% SQ. FT.
3. MAXIMUM HEIGHT OF BUILDING INCLUDING BARBARI.		33' 0"
4. MAXIMUM NUMBER STOREYS INCLUDING BARBARI.		TWO
5. MAXIMUM NUMBER OF DWELLING UNIT PER STOREY PER SITE		ONE

NOTE -
(a) THE PLINTH HEIGHT OF THE BUILDINGS SHALL NOT BE LESS THAN 1' 0" EXCEPT IN THE CASE OF VERANDAS AND BUILDING NOT INTENDED FOR HUMAN HABITATION IN WHICH CASE THE PLINTH HEIGHT SHALL NOT BE LESS THAN 6".

(b) BARBARI IF BUILT SHALL NOT COVER MORE THAN 50% OF THE AREA COVERED ON THE GROUND FLOOR.

(c) NO SITE SHALL BE SUB-DIVIDED.

3. **PROJECTION BEYOND BUILDING LINE -**
NOT WITH STANDING ANYTHING CONTAINED IN THE PUNJAB CAPITAL DEVELOPMENT AND REGULATION BUILDING RULES, 1952.

(a) NO PROJECTIONS IN THE SHAPE OF SUN SHADE, CHAJJAS, CANOPIES OR BALCONIES PROJECTING MORE THAN 1' 0" BEYOND THE SIDE BUILDING LINE SHALL BE ALLOWED.

(b) NO PROJECTIONS IN THE SHAPE OF SUN SHADE, CHAJJAS, CANOPIES OR BALCONIES EXCEEDING 4' 0" BEYOND THE FRONT OR REAR BUILDING LINE SHALL BE ALLOWED.

(c) NO SUCH PROJECTION SHALL BE AT A HEIGHT LOWER THAN 6' 0" CLEAR ABOVE THE PLINTH LEVEL OF THE BUILDING.

4. **BOUNDARY WALLS -**
(a) WALLS OF THE SPECIFICATIONS AND DESIGN "B" SHOWN IN DRAWING 55 AVAILABLE FROM THE CHIEF ADMINISTRATOR OF APPLICATION SHALL BE BUILT ALONG SUCH BOUNDARIES OF SITES AS ADJUT ON V3 ROADS, STREETS AND AREAS MARKED AS "RESERVED" COMMERCIAL" OR "PUBLIC SPACES".

(b) WALLS ALONG BOUNDARIES NOT COVERED BY THE ABOVE PROVISION SHALL BE BUILT. MEASURE 2' 8 1/2" IN HEIGHT 1/4 IN LEVEL WITH THE FRONT AND REAR BOUNDARY WALLS.

(c) THE CURVATURE OF BOUNDARY WALLS ALONG CORNERS OF SITES SHALL BE IN ACCORDANCE WITH THE RADII INDICATED ON THIS PLAN AND ILLUSTRATED IN DRG NO 55 AVAILABLE FROM THE CHIEF ADMINISTRATOR ON APPLICATION.

(d) IN CASE OF SLOPING SITES THE PRESCRIBED HEIGHT OF THE WALL MAY BE EXCEED OVER PORTIONS OF ITS LENGTH PROVIDED THAT NO POINT SHALL BE MORE THAN 2' 0" ABOVE THE PRESCRIBED HEIGHT.

NOTES -
HEIGHT AS APPLIED TO A BOUNDARY WALL SHALL MEAN THE VERTICAL MEASUREMENT OF THE WALL FROM THE CENTRE OF THE FINISHED LEVEL OF THE STREET TO WHICH THE SITE HAS AN ACCESS.

5. **GATE POSTS AND GATES -**
(a) THE GATE POSTS AND GATES SHALL BE OF ONE OF TYPE DESIGNS AND SPECIFICATIONS SHOWN IN DRG 55 AVAILABLE FROM THE CHIEF ADMINISTRATOR ON APPLICATION. ONLY ONE GATE WITH GATE POSTS SHALL BE ERECTED ALONG SUCH PORTION OF THE FRONT BOUNDARY OF THE SITE AS LIES IN FRONT OF THE FRONT BUILDING LINE.

(b) ONLY ONE WICKET GATE OF DESIGN "G" ILLUSTRATED ON DRG NO 55 MAY HOWEVER BE ERECTED ALONG SUCH PORTIONS OF BOUNDARIES OF SITE AS ADJUT ON ANY ACCESSIBLE STREET.

6. **NUMBERING OF PREMISES -**
EVERY BUILDING OCCUPYING SITE SHALL DISPLAY THE POSTAL NUMBER OF THE SITE AS GIVEN IN THIS PLAN ON THE NUMBER PLATE PROVIDED FOR THE PURPOSE ON THE GATE POST. THE POSTAL NUMBER SHALL BE DISPLAYED IN NUMERALS OF THE DESIGN AND SPECIFICATIONS ILLUSTRATED ON THE DRAWING NO 55 AVAILABLE FROM THE CHIEF ADMINISTRATOR ON APPLICATION.

7. **PROTECTED TREE -**
TREES MARKED AS "T" IN THIS PLAN SHALL BE DEEMED TO BE PROTECTED TREES UNDER THE CHANDIGARH TREES PRESERVATION ORDER 1982.

8. **ACCESS AND EXIT -**
NO ACCESS EITHER FROM THE V3 ROADS OR AREAS SHOWN AS RESERVED PUBLIC SPACE OR COMMERCIAL SHALL BE ALLOWED.

9. APPLIED DECORATIONS LIKE CROSSES, SWASTIKAS ETC. SHALL NOT BE PERMITTED ON THE EXTERNAL FACE OF THE BUILDING OR OF THE BOUNDARY WALL. NAME OF THE PERSONS OR HOUSES HOWEVER, MAY BE ALLOWED ON THE SPACE ASSIGNED FOR THE PURPOSE AND ILLUSTRATED ON DRAWING 55 AVAILABLE ON APPLICATION FROM THE CHIEF ADMINISTRATOR.

10. THE WATER STORAGE TANKS AND OTHER PLUMBINGS SHALL NOT SHOWN ON ANY FACE OF THE BUILDING BUT SHALL BE SUBTLY ENCASED.

CHIEF ADMINISTRATOR OFFICE NOTIFICATION-17 FEB.1970
NO.U.1/5024-F2-492283-IN EXERCISE OF THE POWERS CONFERRED BY SUB-SECTION (2) OF SECTION 407 OF THE CAPITAL OF PUNJAB DEVELOPMENT AND REGULATION ACT 1952, READ WITH CLAUSE (a) OF RULE 2 OF THE PUNJAB CAPITAL DEVELOPMENT AND REGULATION BUILDING RULES, 1952 THE CHIEF ADMINISTRATOR CHANDIGARH IS PLEASED TO MAKE THE FOLLOWING AMENDMENT IN THE ZONING PLAN OF SUB SECTOR 35-A CHANDIGARH BEARING DRG NO.13 35B NO.58 DATED 24. JULY 1985.

AMENDMENT -
(1) IN THE SAID ZONING PLAN, IN TABLE 'B' OF CLAUSE 2, IN COLUMN 2, IN ROW 2, THE FOLLOWING WORDS AND WORDS SHALL BE SUBSTITUTED:

(2) FOR THE SITES NOS 101, 146, 147, 180, 206, 201, 202, 246, 248, 274, 301, 305, 301, 301, 301, 346, 351, 401, 406, 409, 413, 424, 425, 432, 433, 441, 442, 446, 451, 456 AND 460.

(3) 180 SQ. FT. FOR ALL THE REMAINING SITES.

(4) AGAINST THE FIDS 10' 0" AND 6' 0" OF THE FOLLOWING SHALL BE ADDED NAMELY:

THE SITE SET BACK OF THE 10' 0" AND 6' 0" SHALL BE RESERVED IN CASE OF SITES ADJUT ON ROADS, STREET OR AREA SPECIFIED AS "PUBLIC SPACES" OR "COMMERCIAL" OR "RESERVED" AND IN SUCH CASE THE SET BACK OF 6' 0" SHALL BE ALLOWED ALONG THE BOUNDARY DIVIDING THE SITES FROM ONE ANOTHER.

(5) AFTER SUB-CLOSURE (1) THE FOLLOWING SUB-CLOSURES SHALL BE ADDED NAMELY:

IN CASE OF SITES IN THE DENSITY ZONE B-2, PART OF THE RESIDENTIAL BUILDING A GARAGE AND SERVANTS QUARTER NOT EXCEEDING THE HEIGHT OF 6' 0" (INCLUDE OF PARAPET) AND NOT CONTAINING MORE THAN TWO STOREYS, MAY BE ERECTED IN A PORTION OF THE SITE LYING BETWEEN THE SIDE BUILDING LINE AND THE BOUNDARY DIVIDING THE SITES FROM ONE ANOTHER AND SUCH CONSTRUCTION, IF BUILT SHALL EXTEND BEYOND THE REAR BUILDING LINE AND SHALL BE SET BACK OF 18' 0" FROM THE FRONT BUILDING LINE.

PROVIDED THAT NOT BARBARI OR A MUMTY SHALL BE CONSTRUCTED IN THE ABOVE SAID PORTION OF THE SITE.

CHANDIGARH PROJECT



SECTOR - 22

NOTE :-
THIS ZONING PLAN HAS BEEN APPROVED & SIGNED BY THE CHIEF ADMINISTRATOR AS CONVEYED VIDE HIS MEMO NO 1218 U.T.F.T. (2) - 80/ 6188 DATED CHANDIGARH THE 28.4.85.

A.T.P. (W)

NOTE :-
THIS DRAWING IS THE COMPUTERISED REPRODUCTION OF ORIGINAL DRG NO. 35 OF JOB NO. 58 DATED 06.02.80 AND PREPARED ON 16-02-2007.

Vishal Chauhan
PREPARED BY

S.K.Madan
CHECKED

Daljeet Singh
A.T.P.

Sd/-
CHIEF ADMINISTRATOR

Sd/- S.G.NANGIA
SENIOR TOWN PLANNER

Sd/- SURJEET SINGH
CHIEF ARCHITECT

Sd/- Y.K.SAXENA
JUNIOR TOWN PLANNER

Sd/- S.P.WADEHRA
ASST.TOWN PLANNER

SCALE: 80 FEET TO AN INCH

Sd/- MANGAT
DRAWN BY

Sd/-
CHECKED:

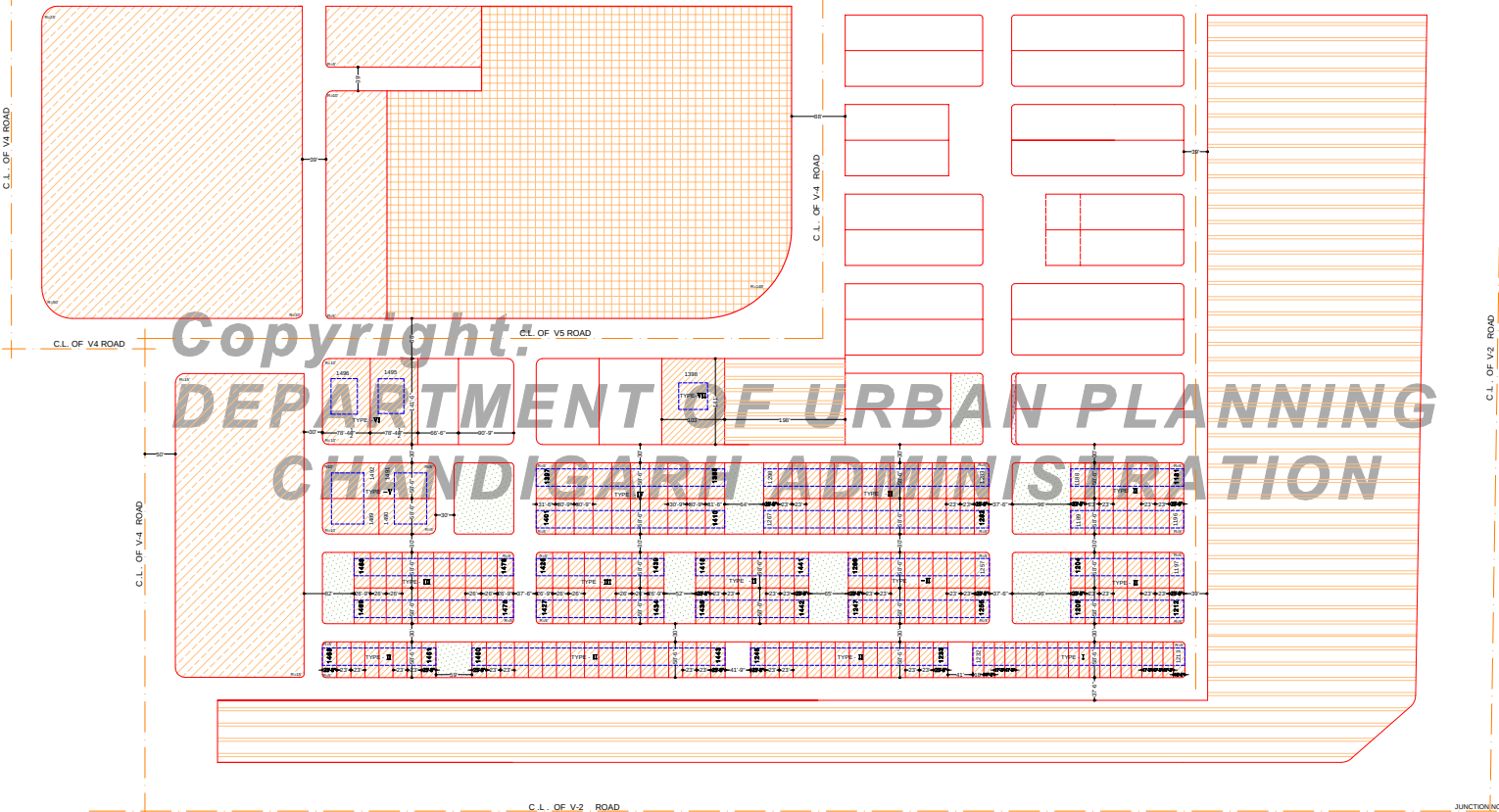
DRG NO. - 35

JOB NO. - 58

DATE:06.02.80

ZONING PLAN OF SECTOR - 35 B

SECTOR - 35 C



SECTOR - 34

DIRECTIONS ISSUED BY THE CHIEF ADMINISTRATOR IN EXERCISE OF POWERS CONFERRED UPON HIM UNDER SECTION - 4 OF THE CAPITAL DEVELOPMENT AND REGULATION ACT, 1952.

REQUIREMENTS OF THIS ZONING PLAN SHALL HAVE TO BE FULFILLED IN ADDITION TO THE ONES CONTAINED IN THE PUNJAB CAPITAL (DEVELOPMENT AND REGULATION) BUILDING RULES, 1952, AND OTHER LOCAL ENACTMENTS.

1. USE ZONES :-

THE LAND SHOWN IN THIS ZONING PLAN SHALL BE UTILISED IN ACCORDANCE WITH THE MARKINGS EXPLAINED IN TABLE 'A' BELOW AND NO OTHER MANNER WHAT SO EVER.

TABLE 'A' (USE ZONES)

1	2	3
NOTATIONS	PERMISSIBLE USE OF LAND MARKED AS IN COLUMN 1	TYPES OF BUILDINGS PERMISSIBLE ON LAND MARKED AS IN COLUMN 1
	ROADS/STREETS	ROAD FURNITURE AND AMENITIES
	PUBLIC SPACES	LAND SCAPES FEATURES AND PUBLIC AMENITIES, NO BUILDING PERMISSIBLE.
	RESIDENTIAL	RESIDENTIAL BUILDINGS.
	COMMERCIAL/CULTURAL (SPECIAL AREA)	PUBLIC OFFICES, CULTURAL INSTITUTIONS OR COMMERCIAL BUILDINGS AS PER ARCHITECTURAL CONTROL SHEETS.
	EDUCATIONAL	EDUCATIONAL BUILDINGS
	RESERVED	AS DIRECTED BY THE CHIEF ADMINISTRATOR FROM TIME TO TIME.

NOTE :-
THE CHIEF ADMINISTRATOR MAY ISSUE SUPPLEMENTARY ZONING PLANS AND SUCH FURTHER INSTRUCTIONS AS MAY BE NECESSARY AND EXPEDIENT.

2. DENSITY ZONES :-

RESIDENTIAL ZONE REFERRED TO IN TABLE 'A' UNDER CLAUSE 1 ABOVE IS HERE BY SUB-DIVIDED INTO THE FOLLOWING DENSITY ZONES AND THE RESTRICTIONS GOVERNING ERECTION AND RE-ERCTIONS OF BUILDINGS, IN RESPECT OF SPACE ABOUT BUILDINGS, MAXIMUM PERMISSIBLE SITE COVERAGE, MAXIMUM PERMISSIBLE HEIGHT, MAXIMUM NUMBER OF STOREYS AND THE MAXIMUM NUMBER OF DWELLING UNITS PER SITE SHALL BE AS SPECIFIED IN TABLE 'B'.

TABLE 'B' (DENSITY ZONES)

DENSITY ZONE	1	2	3	4	5
	TYPE - I, II, III	TYPE IV	TYPE - V	TYPE - VI	TYPE - VII
PLOT NUMBERS	1341 TO 1348 1411 TO 1418	1389 TO 1397 1489 TO 1497	1398 TO 1405 1498 TO 1505	1406 TO 1413 1506 TO 1513	1414 TO 1421 1514 TO 1521
BUILDING LINE	11'-3"	11'-3"	15'-0"	29'-3"	29'-3"
FRONT	19'-6"	15'-0"	25'-6"	39'-0"	39'-0"
REAR	---	---	6'-0"	12'-0"	12'-0"
SIDE	---	---	---	---	---
MAXIMUM PERMISSIBLE SITE COVERAGE	(i) 50% FOR THE FIRST 250 SQ. YDS. OF SITE AREA (ii) 33% FOR THE NEXT 250 SQ. YDS. OF SITE AREA (iii) 25% OF THE SITE AREA IN EXCESS OF 500 SQ. YDS.	---	---	---	---
MAXIMUM HEIGHT OF BUILDING (INCLUDING BARSAT)	33'-0"	33'-0"	33'-0"	33'-0"	33'-0"
MAX. NUMBER OF STOREYS (INCLUDING BARSAT)	TWO	TWO	TWO	TWO	TWO
MAXIMUM NUMBER OF DWELLING UNIT PER STOREY PER SITE	ONE	ONE	ONE	ONE	ONE

NOTE :-
(i) IN CASE OF DENSITY ZONE 'A' & 'B' THE FRONT BUILDING LINE IS COMPULSORY & THE REAR BUILDING LINE MAY HOWEVER BE RECESSED IN 'B' DESIRED, BUT THE SAME REAR BUILDING LINE SHALL BE UNIFORMLY MAINTAINED FOR EACH BLOCK.
(ii) PLUMB LEVEL OF THE BUILDING SHALL BE OBTAINED FROM THE CHIEF ADMINISTRATOR BEFORE STARTING THE CONSTRUCTION.
(iii) NO SITE SHALL BE SUB-DIVIDED.

3. PROJECTION BEYOND BUILDING LINE :-

NOT WITHSTANDING ANYTHING CONTAINED IN THE PUNJAB CAPITAL (DEVELOPMENT AND REGULATION) BUILDING RULE, 1952

(a) **DENSITY ZONE 'A' & 'B' :-**
NO PROJECTION IN THE SHAPE OF SUN SHADE, CHAIJAS, CANOPIES OR BALCONIES EXCEEDING 1'-6" BEYOND THE FRONT OR REAR BUILDING LINES SHALL ALLOWED. PROVIDED FURTHER THAT NO PROJECTION IS ALLOWED ON LAND NOT OWNED BY THE PLOT OWNER.

(b) **DENSITY ZONE 'C' & 'D' :-**
NO PROJECTION IN THE SHAPE OF SUN SHADES, CHAIJAS, CANOPIES OR BALCONIES EXCEEDING 6'-0" BEYOND THE FRONT OR REAR BUILDING LINES SHALL BE ALLOWED. PROVIDED FURTHER THAT NO PROJECTION SHALL BE ALLOWED ON LAND NOT OWNED BY PLOT OWNERS.

(c) **DENSITY ZONE 'E' & 'F' :-**
NO PROJECTION IN THE SHAPE OF SUN SHADES, CHAIJAS, CANOPIES OR BALCONIES PROJECTING MORE THAN 1'-6" BEYOND THE SIDE BUILDING LINES SHALL BE ALLOWED.

4. BOUNDARY WALLS :-

(a) **DENSITY ZONES 'A' & 'B' :-**
(i) BOUNDARY WALLS OF THE SPECIFICATIONS AND DESIGN 'C' SHOWN IN DRG. NO 55 AVAILABLE FROM THE CHIEF ADMINISTRATOR ON APPLICATION SHALL BE BUILT ALONG SUCH BOUNDARIES OF SITE AS LIE AT THE BACK OF THE REAR BUILDING LINES AND ABUT ON STREETS. AREA MARKED AS 'COMMERCIAL', 'RESERVED' OR 'PUBLIC SPACES' AND ALONG THE BOUNDARIES WHICH DIVIDE ONE SITE FROM ANOTHER.

(ii) BOUNDARY WALLS OF THE SPECIFICATIONS AND DESIGN 'D' SHOWN IN DRG. NO 55 AVAILABLE FROM THE CHIEF ADMINISTRATOR ON APPLICATION, SHALL BE BUILT ALONG SUCH FRONT BOUNDARIES OF SITE AS LIE IN FRONT OF THE FRONT BUILDING LINES AND ABUT ON STREETS AND AREAS MARKED AS 'RESERVED', 'PUBLIC SPACES' OR 'COMMERCIAL'.

(b) **DENSITY ZONE 'C' & 'D' :-**
(i) WALLS OF SPECIFICATIONS AND DESIGN 'E' SHOWN IN DRG. NO 55 AVAILABLE FROM THE CHIEF ADMINISTRATOR ON APPLICATION, SHALL BE BUILT ALONG SUCH BOUNDARIES OF SITES AS ABUT ON V-3 ROAD, STREETS AND AREAS MARKED AS 'RESERVED', 'PUBLIC SPACES' OR 'COMMERCIAL'.

(ii) WALLS ALONG BOUNDARIES NOT COVERED BY THE ABOVE PROVISIONS SHALL, IF BUILT MEASURE 3'-6" IN HEIGHT THAT IS IN LEVEL WITH THE FRONT AND REAR BOUNDARY WALLS.

(c) THE CURVATURE OF BOUNDARY WALLS ALONG CORNERS OF SITES SHALL BE IN ACCORDANCE WITH RADII INDICATED ON THIS PLAN AND ILLUSTRATED IN DRG. NO 55 AVAILABLE FROM THE CHIEF ADMINISTRATOR ON APPLICATION.

(d) IN CASE OF SLOPING SITES, THE PRESCRIBED HEIGHT OF WALL MAY BE EXCEEDED OVER PORTIONS OF ITS LENGTH PROVIDED THAT NO POINT SHALL BE MORE THAN 2 FEET ABOVE THE PRESCRIBED HEIGHT.

NOTE :-

HEIGHT AS APPLIED TO A BOUNDARY WALL SHALL MEAN THE VERTICAL MEASUREMENT OF THE WALL FROM THE CENTRE OF THE FINISHED LEVEL OF THE STREET TO WHICH THE SITE HAS AN ACCESS.

5. **GATE POSTS AND GATES :-**
(a) THE GATE POSTS AND GATE SHALL BE OF ONE OF THE TYPE DESIGNS AND SPECIFICATIONS SHOWN IN DRG. NO. 55 READ WITH 5/6 AVAILABLE FROM THE CHIEF ADMINISTRATOR ATOR ON APPLICATION. ONLY ONE GATE WITH GATE POSTS SHALL BE ERECTED ALONG SUCH PORTIONS OF THE FRONT BOUNDARY OF THE SITE AS LIE IN FRONT OF THE FRONT BUILDING LINE.

(b) ONLY ONE WICKET GATE OF DESIGN 'G' -1 ILLUSTRATED ON DRG NO 55 MAY, HOWEVER BE ERECTED ALONG SUCH PORTION OF BOUNDARIES OF SITE AS ABUT ON ANY ACCESSIBLE STREET.

6. **NUMBERING OF PREMISES :-**
EVERY BUILDING OCCUPYING A SITE SHALL DISPLAY THE POSTAL NUMBER OF THE SITE AS GIVEN IN THIS PLAN ON THE NUMBER PLATE PROVIDED FOR THE PURPOSE ON THE GATE POST. THE POSTAL NUMBER SHALL BE DISPLAYED IN NUMERALS OF THE DESIGN AND SPECIFICATIONS ILLUSTRATED ON DRAWING. 5/5 AVAILABLE ON APPLICATION FROM THE CHIEF ADMINISTRATOR.

7. **DUST BIN :-**
THE SIZE, SHAPE, SPECIFICATIONS AND DESIGN OF THE DUST BIN SHALL BE AS SHOWN IN DRAWING NO 5/6 AVAILABLE FROM THE CHIEF ADMINISTRATOR ON APPLICATION.

8. **ACCESS AND EXIT :-**
NO ACCESS EITHER FROM THE V-3 ROADS, AREAS SHOWN AS 'RESERVED', 'PUBLIC SPACES' & 'COMMERCIAL' SHALL BE ALLOWED.

9. **APPLIED DECORATIONS LIKE CROSSES, SWASTIKAS, ETC.** SHALL NOT BE PERMITTED ON THE EXTERNAL FACE OF THE BUILDING OR ON THE BOUNDARY WALL. NAMES OF THE PERSONS OR HOUSES, HOWEVER, MAY BE ALLOWED ON THE SPACE ASSIGNED FOR THE PURPOSE AND ILLUSTRATED ON DRG. NO. 5/5 AVAILABLE ON APPLICATION FROM THE CHIEF ADMINISTRATOR.

10. **THE WATER STORAGE TANKS AND OTHER PLUMBINGS** SHALL NOT BE SHOWN ON ANY FACE OF THE BUILDING BUT SHALL BE SUITABLY ENCASED.



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CHANDIGARH PROJECT



DIRECTION ISSUED BY THE CHIEF ADMINISTRATOR IN EXERCISE OF THE POWERS CONFERRED UPON HIM UNDER SECTION 4 OF THE CAPITAL OF PUNJAB (DEVELOPMENT AND REGULATION) ACT 1952.

1. USE ZONES :-

REQUIREMENT OF THIS ZONING SHALL HAVE TO BE FULFILLED IN ADDITION TO THE ONES CONTAINED IN PUNJAB CAPITAL (DEVELOPMENT AND REGULATION) BUILDING RULES, 1952, AND OTHER LOCAL ENACTMENT.

TABLE 'A' (USE ZONES)

1	2	3
NOTATION	PERMISSIBLE USE OF LAND AS IN COLUMN '2'	TYPE OF BUILDING PERMISSIBLE ON LAND MARKED AS COLUMN '3'
	ROAD (STREETS)	ROAD, FURNITURE AND AMENITIES
	PUBLIC SPACES	LANDSCAPE FEATURES, EDUCATIONAL, PUBLIC & COMMUNITY BUILDINGS AND PUBLIC AMENITIES
	RESIDENTIAL	RESIDENTIAL BUILDINGS AND ANCILLARY BUILDINGS
	COMMERCIAL	COMMERCIAL AND RESIDENTIAL BUILDINGS AS PER ARCHITECTURAL CONTROL SHEETS AS DIRECTED BY THE CHIEF ADMINISTRATOR FROM TIME TO TIME
	RESERVED	

NOTE :-
THE CHIEF ADMINISTRATOR MAY ISSUE SUPPLEMENTARY ZONING PLAN AND SUCH FURTHER INSTRUCTION AS BE DEEMED APPROPRIATE AND EXPEDIENT.

NOTE:
AS PER NOTIFICATION DTD 28.02.2006 UNDER PARA NO. 6, THE ADDITIONAL ZONED AREA FOR SERVANT QUARTER IN TWO KANAL HOUSES IN PHASE-1, CHANDIGARH HAS BEEN ALLOWED AS MARKED IN THE ZONING PLAN. THIS PLAN IS IN VIEW OF AMENDMENTS APPROVED BY THE FINANCE SECRETARY'S OFFICE MEMO NO. 1849-UTFI (3) 3005/6718 DATED 20.08.2005.

ATP

NOTES:
THIS DRAWING IS THE COMPUTERISED REPRODUCTION OF ORIGINAL DRAWING NO. 9, JOB NO. 58, DATED, 9.10.67 AND PREPARED ON

Vishal Chohan PREPARED BY : S.K. Madan CHECKED BY : Dabest Singh ATP

2. DENSITY ZONES :-

RESIDENTIAL ZONE REFERRED TO IN TABLE 'A' UNDER CLAUSE 1 ABOVE IS HERE BY SUBDIVIDED IN TO THE FOLLOWING DENSITY ZONE AND RESTRICTIONS GOVERNING ERECTION AND RE-ERECTION OF BUILDINGS IN RESPECT OF SPACE AROUND BUILDINGS, MAXIMUM PERMISSIBLE SITE COVERAGE, MAXIMUM PERMISSIBLE HEIGHT, MAXIMUM NUMBER OF STORES AND MAXIMUM NUMBER OF DWELLING UNITS PER SITE SHALL BE SPECIFIED IN TABLE 'B'

TABLE 'B' (DENSITY ZONES)

1	2	3	4	5
DENSITY ZONES	A-2 10 MARLA PLOT NOS BOTH INCLUSIVE	B-1 1 KANAL 2315-2330 BOTH INCLUSIVE	C-1 2 KANAL 2563-2575 BOTH INCLUSIVE	C-2 2 KANAL 2581-2536 BOTH INCLUSIVE
BUILDING LINE FRONT (REAR) SIDE 'L' SIDE 'R'	AS PER FRAME CONTROL	12'-0" 16'-0" 8'-0"	19'-6" 38'-0" 12'-0"	19'-6" 39'-0" 12'-0"
MAX. PERMISSIBLE SITE COVERAGE	DRG. NO. 1 JOB NO. 55	1800 SQ. FEET	3025 SQ. FEET	3310 SQ. FEET
MAX. NO. OF BUILDING INCLUDING BARSAT	DO	33'-0"	33'-0"	33'-0"
MAX. NO. OF STOREYS EXCLUDING BARSAT	DO	2	2	2
MAX. NO. OF DWELLING UNIT PER STOREY PER SITE	1	1	1	1

(A) THE PLINTH HEIGHT OF THE BUILDING SHALL NOT BE LESS THAN ONE FOOT EXCEPT IN THE CASE OF VERANDAH AND BUILDINGS NOT INTENDED FOR HUMAN HABITATION IN WHICH CASE THE PLINTH HEIGHT SHALL NOT BE LESS THAN 2 FEET.

(B) IN CASE OF THE DENSITY ZONE A2 THE PLINTH HEIGHT FOR THE BUILDING SHALL BE OBTAINED FROM THE CHIEF ADMINISTRATOR BEFORE STARTING THE CONSTRUCTION.

(C) BARSAT, IF BUILT IN CASE OF ZONES B-1, C-1 & C-2 SHALL NOT COVER MORE THAN 50% OF THE AREA COVERED ON THE GROUND FLOOR.

(D) NO SITE SHALL BE SUB-DIVIDED.

3. PLANS SHALL BE PREPARED, CONSTRUCTION SUPERVISED AND COMPLETION CERTIFICATES ISSUED BY A QUALIFIED ARCHITECT PROVIDED THAT REGISTERED SURVEYORS MAY ALSO PREPARE THE PLANS, SUPERVISE CONSTRUCTION AND ISSUE COMPLETION CERTIFICATES IN RESPECT OF PLOT NO. 2373 TO 2378 BOTH INCLUSIVE AND 2430 BOTH INCLUSIVE COVERED UNDER THE FRAME CONTROL REGULATIONS.

4. PROJECTION BEYOND BUILDING LINE :-

NOT WITHSTANDING ANY THING CONTAINED IN THE PUNJAB CAPITAL (DEVELOPMENT & REGULATION) BUILDING RULES 1952.

(A) DENSITY ZONE A2: NO PROJECTIONS, WHAT SO EVER OTHER THAN THOSE SHOWN ON THE FRAME CONTROL, DRG. NO. 1 OF JOB NO. 55 SHALL BE ALLOWED.

(B) DENSITY ZONES B-1, C-1 & C-2: (A) NO PROJECTION IN THE SHAPE OF SUN SHADES, CHAJJAS, CANOPIES OR BALCONIES PROJECTING MORE THAN 1'-6" BEYOND THE SIDE BUILDING SHALL BE ALLOWED.

(B) NO PROJECTIONS IN THE SHAPE OF SUN SHADE, CHAJJAS, CANOPIES OR BALCONIES EXCEEDING 4'-6" BEYOND THE FRONT OR REAR BUILDING LINES AND EXTENDING MORE THAN 1'-3" BEYOND THE LENGTH OF THE FACADE SHALL BE ALLOWED. NO SUCH PROJECTIONS SHALL BE ALLOWED, EXCEPT THAT 1'-6" CLEAR ABOVE THE PLINTH LEVEL OF THE BUILDING.

5. BOUNDARY WALLS

(A) DENSITY ZONES A-2:-

(1) BOUNDARY WALL OF THE SPECIFICATION AND DESIGN 'C' SHOWN IN DRAWING NO. 55 AVAILABLE ON APPLICATION SHALL BE BUILT ALONG SUCH BOUNDARIES OF SITE AS LIE AT THE BACK OF THE REAR BUILDING LINE AND ABUT ON V-3 ROAD, STREETS OR AREAS MARKED AS COMMERCIAL OR PUBLIC SPACES THE BOUNDARIES WHICH DIVIDE ON SITE FROM ANOTHER.

(2) BOUNDARY WALLS OF THE SPECIFICATIONS AND DESIGN 'B' SHOWN IN DRAWING NO. 55 AVAILABLE FROM THE CHIEF ADMINISTRATOR ON APPLICATION SHALL BE BUILT ALONG SUCH FRONT BOUNDARIES OF SITE AS LIE IN FRONT OF THE FRONT BUILDING LINES AND ABUT ON STREETS, ROADS AND AREAS MARKED AS RESERVED PUBLIC SPACES AND COMMERCIAL.

(3) NO WALL NEED BE BUILT ALONG THE FRONT SIDE BOUNDARIES WHICH DIVIDE ONE SITE FROM ANOTHER BUT IF BUILT SHALL MEASURE 3'-6" IN HEIGHT IN LEVEL WITH THE TOP OF THE FRONT BOUNDARY WALL.

(B) DENSITY ZONES B-1, C-1 & C-2

(1) WALL OF THE SPECIFICATION AND DESIGN 'B' SHOWN IN DRAWING NO. 55 AVAILABLE FROM THE CHIEF ADMINISTRATOR ON APPLICATION SHALL BE BUILT ALONG SUCH BOUNDARIES OF SITE AS ABUT ON V-3 ROADS, STREETS AND AREAS MARKED AS RESERVED, PUBLIC SPACES OR COMMERCIAL.

(2) WALLS ALONG BOUNDARIES NOT COVERED BY THE ABOVE PROVISION SHALL BE BUILT MEASURE 3'-6" IN HEIGHT IN LEVEL WITH THE FRONT AND REAR BOUNDARY WALL.

(3) THE CURVATURE OF BOUNDARY WALLS ALONG CORNERS OF THE SITE SHALL BE IN ACCORDANCE WITH THE RAD II INDICATED ON THIS PLAN AND ILLUSTRATED IN DRAWING NO. 55 AVAILABLE FROM THE CHIEF ADMINISTRATOR ON APPLICATION.

(3) IN CASE OF SLOPING SITES THE PRESCRIBED HEIGHT OF WALL MAY BE EXCEEDED OVER PORTIONS OF THE LENGTH PROVIDED THAT NO PORT SHALL BE MORE THAN 2 FEET ABOVE THE PRESCRIBED HEIGHT.

(4) "HEIGHT" AS APPLIED TO A BOUNDARY WALL SHALL MEAN THE VERTICAL MEASUREMENT OF THE WALL FROM THE CENTRE OF THE FINISHED LEVEL OF THE STREET TO WHICH THE SITE HAS ACCESS.

(C) GATE POSTS AND GATES

(A) THE GATE POSTS AND THE GATE SHALL BE OF ONE OF THE TYPE DESIGNS AND SPECIFICATIONS SHOWN IN DRAWING NO. 55 AVAILABLE FROM THE CHIEF ADMINISTRATOR ON APPLICATION. ONLY ONE GATE WITH THE GATE POSTS SHALL BE ERECTED ALONG EACH PORTION OF THE FRONT BOUNDARY OF THE SITE AS LIE IN FRONT OF THE FRONT BUILDING LINE.

(B) ONLY ONE WICKET GATE OF THE DESIGN I ILLUSTRATED ON DRG. NO. 55 MAY, HOWEVER, BE ERECTED ALONG SUCH PORTION OF BOUNDARY OF SITE AS ABUT ON AN ACCESSIBLE STREET.

7. NUMBERING OF PREMISES

EVERY BUILDING OCCUPYING A SITE SHALL DISPLAY THE POSTAL NO. THE SITE AS GIVEN IN THIS PLAN ON THE PLAN ON THE NO. PLATE PROVIDED FOR THE PURPOSE ON THE GATE POST POSTAL NO. SHALL BE DISPLAYED IN NUMERALS OF THE DESIGN AND SPECIFICATION ILLUSTRATED ON THE DRG. NO. 55 AVAILABLE ON APPLICATION FROM THE CHIEF ADMINISTRATOR.

8. PROTECTED TREES

TREES MARKED AS IN THIS PLAN SHALL BE DEEMED TO BE PROTECTED TREES UNDER THE CHANDIGARH TREES PRESERVATION ORDER, 1952.

9. ACCESS AND EXIT

NO ACCESS EITHER FROM THE V-3 ROAD AREA SHOW AS RESERVED, PUBLIC SPACE OR COMMERCIAL SHALL BE ALLOWED.

10. APPLIED DECORATION LINE

CROSSES SPASTICS ETC. SHALL NOT BE PERMITTED ON THE EXTERNAL FACE OF THE BUILDING OR ON THE BOUNDARY WALL. NAMES OF PREMISES HOWEVER BE ALLOWED ON THE SPACE ASSIGNED FOR THE PURPOSE ILLUSTRATED DRAWING NO. 55 AVAILABLE ON APPLICATION FROM THE CHIEF ADMINISTRATOR.

CHIEF ADMINISTRATOR'S OFFICE NOTIFICATION 17-2-79

NO. U.T. 5502-F2-69/2396. IN EXERCISE OF POWER CONFERRED BY SUB-SECTION (3) OF SECTION 4 OF THE CAPITAL OF PUNJAB (DEVELOPMENT AND REGULATION) ACT, 1952 READ WITH CLAUSE (A) OF RULE 2 OF THE PUNJAB CAPITAL (DEVELOPMENT AND REGULATION) BUILDING RULES 1952 THE CHIEF ADMINISTRATOR CHANDIGARH IS PLEASED TO MAKE THE FOLLOWING AMENDMENT IN THE ZONING PLAN OF SUB-SECTOR 35-C, BEARING DRG. NO. 9, JOB NO. 58 DATED 28.02.2006.

AMENDMENT:- IN THE SAID ZONING PLAN, IN TABLE 'B' OF CLAUSE 2.1 IN COLUMN 4 (A) FOR THE FIGURES AND WORDS "3025 SQ. FT." THE FOLLOWING SHALL BE SUBSTITUTED:-

(i) 50 PERCENT FOR THE FIRST 2500 SQ. YDS. OF SITE AREA.

(ii) 33 PERCENT FOR THE NEXT 2500 SQ. YDS. OF SITE AREA.

(iii) 25 PERCENT OF THE AREA IN EXCESS OF 5000 SQ. YDS.

IN COLUMN 3:-

(A) AGAINST THE FIGURES 10'-6" AND 6'-0" THE FOLLOWING SHALL BE ADDED, NAMELY:-

"THE SET BACK OF THE 10'-6" AND 6'-0" SHALL BE RESERVED IN CASE OF SITE ABUTTING ON ROADS, STREETS OR AREAS SPECIFIED AS "PUBLIC SPACES" COMMERCIAL OR RESERVED AND IN SUCH CASES THE SET BACK OF 10'-6" SHALL BE ALLOWED ALONG THE BOUNDARY DIVIDING THE SITES FROM ONE ANOTHER."

(2) AFTER SUB-CLAUSE (B) THE FOLLOWING SUB-CLAUSE SHALL BE ADDED, NAMELY:-

(B) IN CASE OF SITES IN THE DENSITY ZONE B-1 PART OF THE RESIDENTIAL BUILDING INCLUDING A GARAGE AND SERVANT'S QUARTER NOT EXCEEDING THE HEIGHT OF 24'-6" (INCLUSIVE OF PARAPET) AND NOT CONTAINING MORE THAN TWO STOREYS MAY BE ERECTED IN A PORTION OF THE SITE LYING BETWEEN THE SIDE BUILDING LINE AND THE BOUNDARY DIVIDING THE SITE FROM ONE ANOTHER AND SUCH CONSTRUCTION IF BUILT SHALL NOT EXTEND BEYOND THE REAR BUILDING LINE SHALL PROVIDED THAT NO BARSAT OR A MUMTY SHALL BE CONSTRUCTED IN THE AFORESAID PORTION OF THE SITE.

ZONING PLAN OF SUB SECTOR 35-C

JUNCTION NO. 48

C.L. OF V3 ROAD

C.L. OF V3 ROAD

C.L. OF V4 ROAD

C.L. OF V4 ROAD

CHANDIGARH PROJECT



DIRECTIONS ISSUED BY THE CHIEF ADMINISTRATOR IN EXERCISE OF THE POWERS CONFERRED UPON HIM UNDER SECTION 4 OF THE CAPITAL OF PUNJAB DEVELOPMENT AND REGULATION ACT 1955
REQUIREMENTS OF THIS ZONING PLAN SHALL HAVE TO BE FULFILLED IN ADDITION TO THE ONES CONTAINED IN PUNJAB CAPITAL DEVELOPMENT AND REGULATION BUILDING RULES, 1955, AND OTHER LOCAL ENACTMENTS.

1. USE ZONES :-
THE LAND SHOWN IN THIS ZONING PLAN SHALL BE UTILISED IN ACCORDANCE WITH THE MARKINGS EXPLAINED IN TABLE 'A' BELOW AND IN NO OTHER MANNER WHAT SO EVER.

TABLE 'A' (USE ZONES)	
NOTATION	PERMISSIBLE USE OF LAND MARKED AS IN COLUMN 1
	ROADS / STREETS
	PUBLIC SPACES
	RESIDENTIAL
	COMMERCIAL
	RESERVED

NOTE :-
THE CHIEF ADMINISTRATOR MAY ISSUE SUPPLEMENTARY ZONING PLANS AND SUCH FURTHER INSTRUCTIONS AS MAY BE NECESSARY AND EXPEDIENT.

2. DENSITY ZONES :-
RESIDENTIAL ZONE REFERRED TO IN TABLE 'A' UNDER CLAUSE 1 ABOVE IS HERE BY SUB-DIVIDED INTO FOLLOWING DENSITY ZONES AND RESTRICTIONS GOVERNING ERECTION AND RE-ERECTION OF BUILDINGS IN RESPECT OF THE SPACE ABOUT BUILDINGS, MAXIMUM PERMISSIBLE SITE COVERAGE, MAXIMUM PERMISSIBLE HEIGHT, MAXIMUM NUMBER OF STOREYS AND MAXIMUM NUMBER OF DWELLING UNITS PER SITE SHALL BE SPECIFIED IN TABLE 'B'.

TABLE - B (DENSITY ZONES)			
DENSITY ZONE	A-1 (7.2' M)	A-2 (10 MARLA)	A-3 (15 MARLA)
PLOT NOS.	3201 TO 3238 BOTH INCL. 3239 TO 3246 BOTH INCL. 3247 TO 3254 BOTH INCL.	3255 TO 3292 BOTH INCL. 3293 TO 3330 BOTH INCL. 3331 TO 3368 BOTH INCL.	3369 TO 3406 BOTH INCL. 3407 TO 3444 BOTH INCL. 3445 TO 3482 BOTH INCL.
BUILDING LINE: FRONT REAR SIDE L SIDE R	AS PER FRAME CONTROL DRG. NO. 1 OF JOB NO. 538		
MAXIMUM PERMISSIBLE SITE COVERAGE			
MAX. HEIGHT OF BUILDING INCLUDING BARBATA			
MAX. NUMBER OF STOREYS EXCLUDING BARBATA			
MAX. NUMBER OF DWELLING UNITS PER STOREY PER SITE			

(A) THE PLINTH LEVEL FOR THE BUILDING SHALL BE OBTAINED FROM CHIEF ADMINISTRATOR BEFORE STARTING THE CONSTRUCTION.

(B) NO SITE SHALL BE SUB-DIVIDED.

3. PLANS SHALL BE PREPARED CONSTRUCTION SUPERVISOR AND COMPLETION CERTIFICATES ISSUED BY A DULY QUALIFIED ARCHITECT. PROVIDED THAT REGISTERED SURVEYORS MAY ALSO PREPARE THE PLANS, SUPERVISE CONSTRUCTION AND ISSUE COMPLETION CERTIFICATES IN RESPECT OF PLOT NOS 3015 TO 3154 BOTH INCL. 3235 TO 3482 BOTH INCL. & 3533 TO 3654 BOTH INCL. COVERED UNDER THE FRAME CONTROL DRG. NO. 1 OF JOB NO. 538 SHALL BE ALLOWED.

4. PROJECTION BEYOND BUILDING LINE :-

NOT WITH STANDING ANY THING CONTAINED IN THE PUNJAB CAPITAL DEVELOPMENT & REGULATION BUILDING RULES, 1955, OTHER THAN THOSE SHOWN ON THE FRAME CONTROL DRG. NO. 1 OF JOB NO. 538 SHALL BE ALLOWED.

5. BOUNDARY WALLS :-

(A) BOUNDARY WALLS OF THE SPECIFICATIONS AND DESIGN 'C' SHOWN IN DRAWING 1/55 AVAILABLE ON APPLICATION SHALL BE BUILT ALONG SUCH BOUNDARIES OF SITES AS LIE AT THE BACK OF THE REAR BUILDING LINES AND ABUT ON V3 ROAD, STREET OR AREAS MARKED AS RESERVED OR 'PUBLIC SPACES' AND ALONG THE BOUNDARIES WHICH DIVIDE ONE SITE FROM ANOTHER.

(B) BOUNDARY WALLS OF THE SPECIFICATIONS AND DESIGN 'B' SHOWN IN DRAWING 1/55 AVAILABLE ON APPLICATION SHALL BE BUILT ALONG SUCH FRONT BOUNDARIES OF SITES AS LIE IN FRONT OF THE FRONT BUILDING LINES AND ABUT ON STREETS, ROADS AND AREAS MARKED AS RESERVED OR 'PUBLIC SPACES'. CURVATURES ALONG CORNERS OF SITE AS INDICATED SHALL BE FOLLOWED.

(C) NO WALL NEED BE BUILT ALONG THE FRONT SIDE BOUNDARIES WHICH DIVIDE ONE SITE FROM ANOTHER BUT, IF BUILT, SHALL MEASURE 3' 6" IN HEIGHT IN LEVEL WITH THE TOP OF THE FRONT BOUNDARY WALL.

NOTE :-
'HEIGHT' AS APPLIED TO A BOUNDARY WALL SHALL MEAN THE VERTICAL MEASUREMENT OF THE WALL FROM THE CENTRE OF THE FINISHED LEVEL OF THE STREET TO WHICH THE SITE HAS AN ACCESS.

6. GATE POSTS AND GATES :-

(A) THE GATE POSTS AND THE GATE SHALL BE OF ONE OF THE TYPE DESIGNS AND SPECIFICATIONS SHOWN IN DRG. NO 5/5 AVAILABLE FROM THE CHIEF ADMINISTRATOR ON APPLICATION. ONLY ONE GATE WITH GATE POSTS SHALL BE ERECTED ALONG EACH PORTION OF THE FRONT BOUNDARY OF THE SITE AS LIE IN FRONT OF FRONT THE BUILDING LINE.

(B) ONLY ONE WICKET GATE OF THE DESIGN 'C' ILLUSTRATED ON DRG. NO 5/5 MAY, HOW EVER, BE ERECTED ALONG SUCH PORTIONS OF SITE AS ABUT ON AN ACCESSIBLE STREET.

7. NUMBERING OF PREMISES :-

EVERY BUILDING OCCUPYING A SITE SHALL DISPLAY THE POSTAL NUMBER OF SITE AS GIVEN IN THIS PLAN ON THE NUMBER PLATE PROVIDED FOR THE PURPOSE ON THE GATE POST. THE POSTAL NO. SHALL BE DISPLAYED IN NUMERALS OF THE DESIGN AND SPECIFICATIONS ILLUSTRATED ON DRG. NO 5/5 AVAILABLE ON APPLICATION FROM THE CHIEF ADMINISTRATOR.

8. PROTECTED TREES :-

TREES MARKED AS 'IN THIS PLAN SHALL BE DEEMED TO BE PROTECTED TREES UNDER THE CHANDIGARH TREES PRESERVATION ORDER, 1952.

9. ACCESS AND EXIT :-

NO ACCESS EITHER FROM THE V3 ROAD, AREAS, SHOWN AS RESERVED, 'PUBLIC SPACES' OR COMMERCIAL SHALL BE ALLOWED.

APPLIED DECORATIONS, LINE CROSSINGS, SHASTRAS ETC. SHALL NOT BE PERMITTED ON THE EXTERNAL FACE OF THE BUILDING OR OF THE BOUNDARY WALL. NAMES OF PERSONS OR HOUSES, HOWEVER MAY BE ALLOWED ON THE SPACE ASSIGNED FOR THE PURPOSE AND ILLUSTRATED ON DRAWING 5/5 AVAILABLE ON APPLICATION FROM THE CHIEF ADMINISTRATOR.

NOTE :-
36 FEET WIDE ROAD LINK ADJOINING H NO 3201 3238, 3235 AND 3340 AS PER APPROVAL OF THE CHIEF ADMINISTRATOR. VIDE HIS MEMO NO 211202 DATED 20/01/2007 DATED 12.2.2002.

Sd/- (Dish Singh)
A.T.P.

NOTE :-
THIS DRAWING IS THE COMPUTERISED REPRODUCTION OF ORIGINAL DRG. NO. 10 OF JOB NO. 58 DATED 08.10.87 AND PREPARED ON 14.02.2007.

Visual Checker: S.K. Mahan
Prepared By: S.K. Mahan
Checked: Dinesh Singh
A.T.P.

Sd/- CHIEF ADMINISTRATOR
Sd/- M.N. SHARMA
CHIEF ARCHITECT

Sd/- 11.10.67
SENIOR TOWN PLANNER
Sd/- SENIOR ARCHITECT

Sd/- 11.10.67
DIVNL TOWN PLANNER
Sd/- ASSTT TOWN PLANNER

SCALE: 80 FEET TO AN INCH

Sd/- CHANDU LAL
DRAWN BY

Sd/- A.B. MARTHE
CHECKED

DRG. NO. - 10 JOB NO. - 58 DATE 09.10.67

ZONING PLAN OF SECTOR - 35 D

Source: Chandigarh Administration — Sector 35D | Source sheet 4 of 4. Original authority page retained unmodified; ATY added only t

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